

1990

URBAN/MUNICIPAL

Y OF HAMILTON-WENTWORTH



Planning and Development Department
 119 King Street West, 14th floor
 Hamilton, Ontario
 (416) 546-4186 Fax (416) 546-4364

Mailing Address:
 P.O. Box 910, Hamilton, Ontario
 L8N 3V9

October 16, 1990

25T-89021

Refer to File No.

Attention of

Your file No.

Regional Assessment Department
 Fire Department
 Regional Police Department
The Librarian, Hamilton Public Library
 Commissioner of Public Works
 Northgate Cable T.V. Limited

URBAN MUNICIPAL

Dear Sir:

10/17/90

Re: File No.: 25T-89021 (Revised)
 Subdivision Name: Mapleview Estates Extension
 Owner: Mr. A. Weisz & Mr. & Mrs. Knapman
 Surveyor: May, Pirie & Associates Ltd.
 Location: Part Lot 15, Concession 3, City of Stoney Creek

GOVERNMENT DOCUMENTS

The Planning and Development Department has under consideration the above proposed plan of subdivision, the location and layout of which is indicated on the attached plan. This proposed plan is forwarded to you for your information. However, should you wish to make any representation concerning this plan, please advise the Planning and Development Department.

Yours very truly,

V. J. Abraham, M.C.I.P.
 Director
 Regional Planning Branch

JLS/dc

Encl.

Note: Please address all correspondence to J. L. Schwarz, Manager, Subdivision and Condominium Administration Section, Regional Planning Branch at the above address.

Mapleview Estates Extension

REVISED SEPT. 1990

DRAFT PLAN OF SUBDIVISION

BEING PART OF LOT 15, CONCESSION 3
GEOGRAPHIC TOWNSHIP OF SALTFIELD
CITY OF STONEY CREEK
REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH

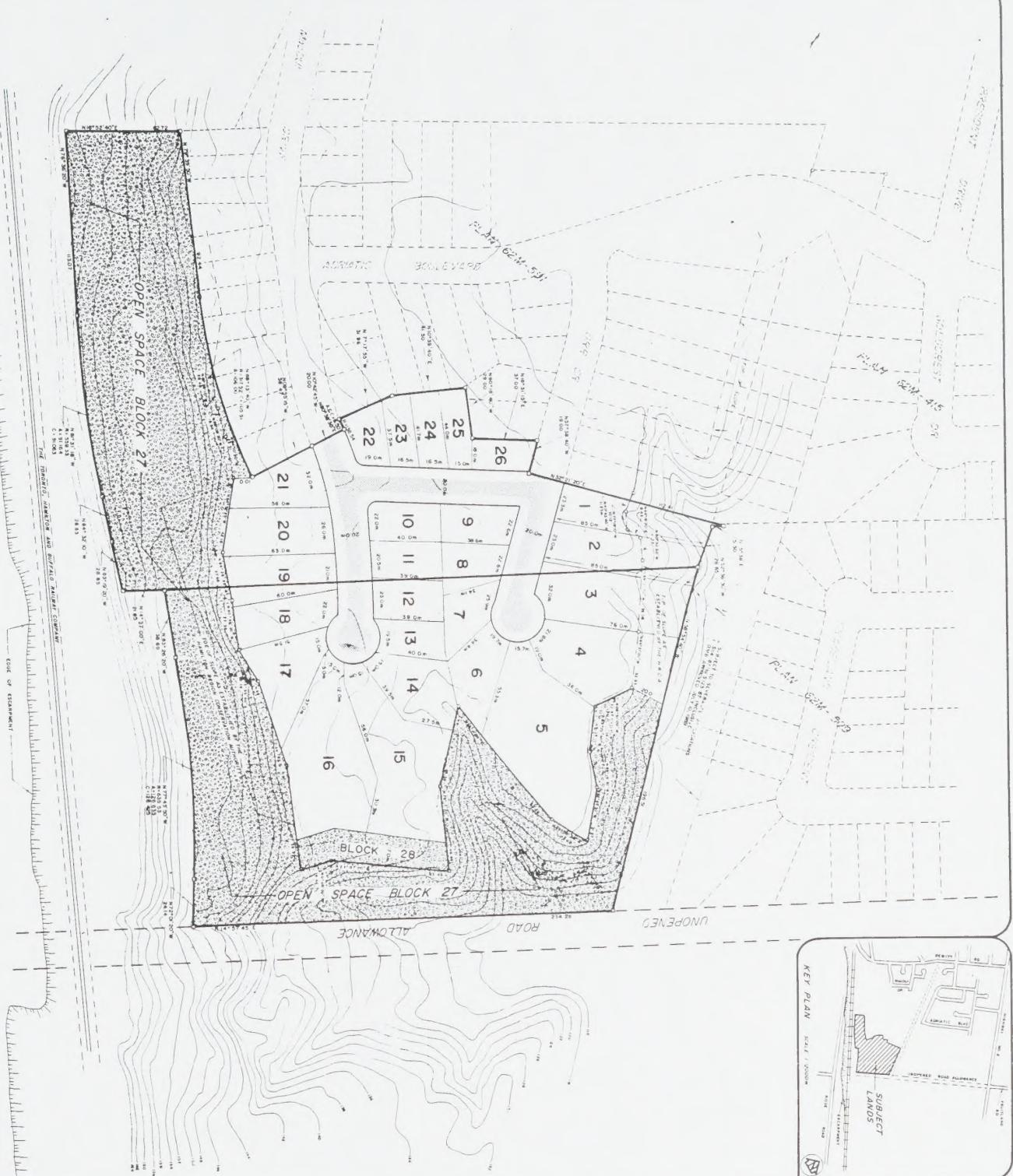


OWNER'S CERTIFICATE

I hereby certify that the undersigned are the owners of the lands outlined in a heavy line shown on this plan and I hereby authorize **MAX PRICE & ASSOCIATES, LIMITED** to submit this draft plan for approval.

A detailed surveyor's certificate from 1900. It includes a map of the B.C. Ranch, a diagram of a dam, and a table of measurements. The certificate is signed by G. W. H. H. and J. W. H. H. and is dated September 10, 1900.

REQUIREMENTS OF THE PLANNING ACT, 1983 (SECTION 50.2)





URBAN/MUNICIPAL

OF HAMILTON-WENTWORTH

Planning and Development Department
119 King Street West, 14th floor
Hamilton, Ontario
(416) 546-4186 Fax (416) 546-4364

Mailing Address:
P.O. Box 910, Hamilton, Ontario
L8N 3V9

25T-89029

Refer to File No.

Attention of

Your file No.

October 3, 1990

Regional Assessment Department
Fire Department
Regional Police Department
The Librarian, Hamilton Public Library
Commissioner of Public Works
Director of Culture and Recreation
Southmount Tel-E-Vents Limited
Development Section, Local Planning Branch (Attn: G. Whitehouse)

Dear Sir/Madam:

Re: File No.: 25T-89029
Subdivision Name: N/A
Owner: Joseph Falcone, President, Falconstone Development
Surveyor: May, Pirie & Associates, Terri L. Johns
Location: Part Lot 11, Concession 7, City of Hamilton

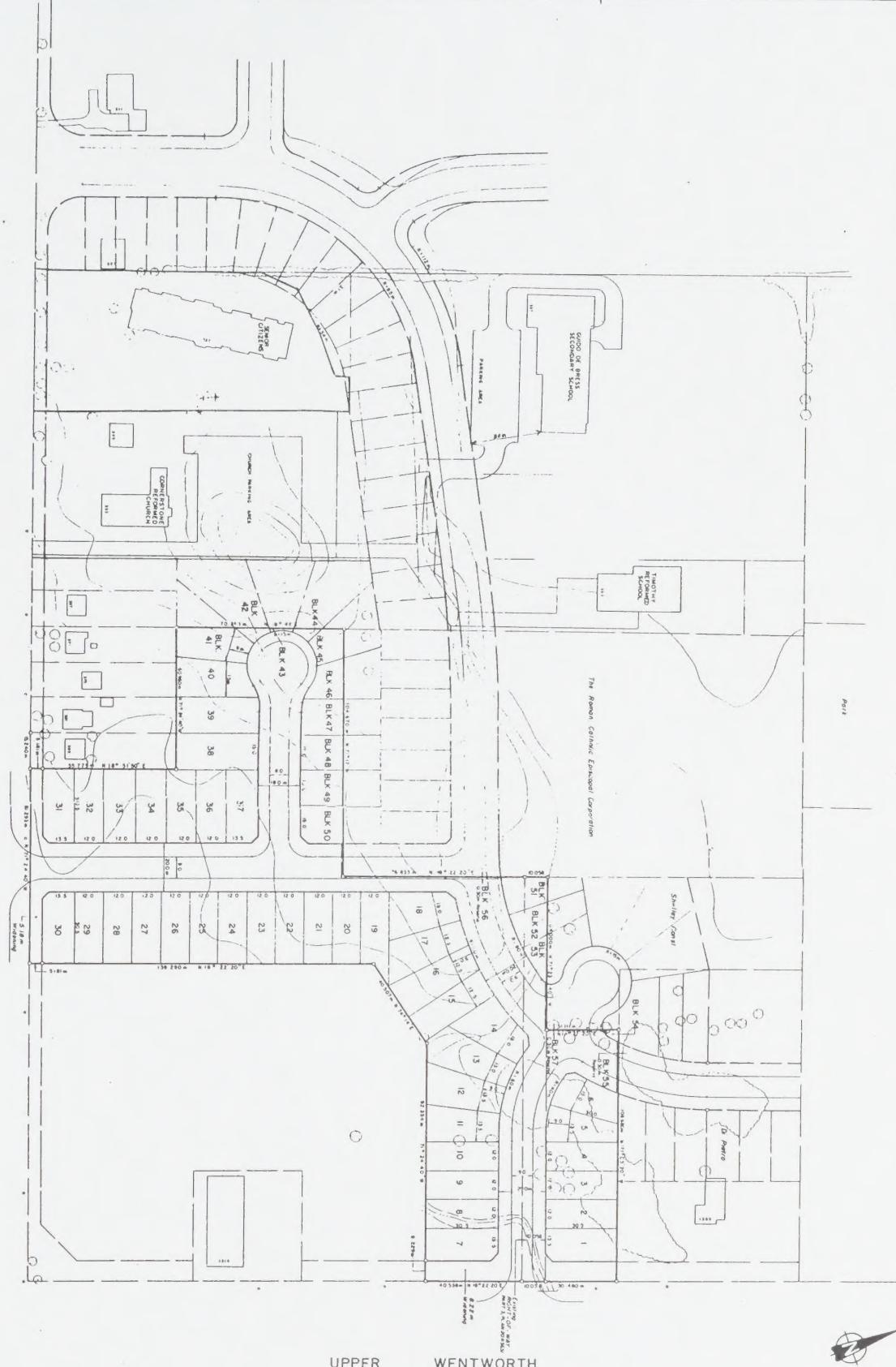
The Planning and Development Department has under consideration the above proposed plan of subdivision, the location and layout of which is indicated on the attached plan. This proposed plan is forwarded to you for your information. However, should you wish to make any representation concerning this plan, please advise the Planning and Development Department.

Yours very truly,

V. J. Abraham, M.C.I.P.
Director
Regional Planning Branch

JLS/CMD/dc
Encl.

Note: Please address all correspondence to J. L. Schwarz, Manager, Subdivision and Condominium Administration Section, Regional Planning Branch at the above address.



DRAFT PLAN OF OPERATION

PART OF LOT II, CONCESSION 7
IN THE GEOGRAPHIC
TOWNSHIP OF BARTON
NOW IN THE
CITY OF HAMILTON
REGIONAL MUNICIPALITY OF
HAMILTON - WENTWORTH

REQUIREMENTS OF THE PLANNING ACT 1983 (5)

Wilson Planner, Inc. 800.544.5444 • Wilson Planner, Inc. • 10000 Design & Land Use Resources

DESIGN CRITERIA AND LAND USE SCHEDULE	
USE	
LOT/BLOCK	
AREAL/PLAN	
Residential	Lot 1 to 40
	1.5 ha. -

Roofway	0.30m Passages	.004 m ²
	Bk. 5.2 to 5.4	
	18m and 20m Wide	
TOTAL	2.8 m ²	0.8 m ²

CRERAR NEIGHBOURHOOD

SURVEYOR'S CERTIFICATE

Some members of the genus *Leptothrix* have been found to contain a large amount of a protein which is antigenic to the human body.

OWNER'S CERTIFICATE

1 January 2007 (the 6th underground) are the owners of the land outlined

SCALE CONTOUR INTERVALS DATE DRAWN PROJECT

Falcone Smith Associates Inc.

Digitized by srujanika@gmail.com

20-08-2024 10:28

104

102





THE REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH

Planning and Development Department
119 King Street West, 14th floor
Hamilton, Ontario

Mailing Address:
P.O. Box 910, Hamilton, Ontario
L8N 3V9

May 31, 1989

Refer to File No. 25T-89012
Attention of SA-89-09
Your File No.

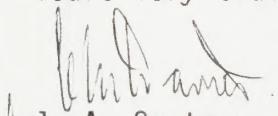
Regional Assessment Department
Fire Department
Regional Police Department
The Librarian, Hamilton Public Library ✓
Commissioner of Public Works
Director of Culture and Recreation
Cable T.V.

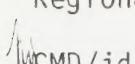
Dear Sir:

Re: File No.: 25T-89012
Subdivision Name: Abbey Hill Farm - Phase 2
Owner: Shedaco Holdings Ltd.
Surveyor: J. P. Nouwens, O.L.S.
Location: Lot 4, Concession 1, former Township of Glanford,
City of Hamilton

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Yours very truly,


J. A. Gartner, M.C.I.P.
Director,
Regional Planning Branch


WCMD/jd

Encls.

Note: Please address all correspondence to J. L. Schwarz, Manager, Subdivision and Condominium Administration Section, Regional Planning Branch at the above address.



RYMAL ROAD
FORMERLY, THE
WEST



KEY PLAN

METRIC NOTE

NOTES: ON THE DATE OF THIS PLAN, THE PROPERTY OWNED BY JOHN P. NOUWENS IS LOCATED AS FOLLOWS:

1. A PROPERTY OWNED BY JOHN P. NOUWENS, LOCATED ON THE WEST SIDE OF RYMAL ROAD, FORMERLY THE WEST, IN THE TOWNSHIP OF GLANFORD, CITY OF HAMILTON, REGIONAL MUNICIPALITY OF HAMILTON, ONTARIO, CANADA, IS LOCATED AS FOLLOWS:

OWNER'S CERTIFICATE

NOTES: ON THE DATE OF THIS PLAN, THE PROPERTY OWNED BY JOHN P. NOUWENS IS LOCATED AS FOLLOWS:

DATE

SHEDACO HOLDINGS LIMITED

DATE

JOHN P. NOUWENS

ONTARIO LAND SURVEYOR

SURVEYOR'S CERTIFICATE

NOTES: ON THE DATE OF THIS PLAN, THE PROPERTY OWNED BY JOHN P. NOUWENS IS LOCATED AS FOLLOWS:

DATE

JOHN P. NOUWENS

ONTARIO LAND SURVEYOR

SCHEDULE : RE : SECTION 50(2)

DRAFT PLAN OF



ABBEY HILL FARM

<< PHASE 2 >>

BEING A PROPOSED SUBDIVISION OF PART OF

LOT 4, CONCESSION 1

FORMERLY IN THE

TOWNSHIP OF GLANFORD

NOW IN THE

CITY OF HAMILTON

REGIONAL MUNICIPALITY OF HAMILTON, ONTARIO, CANADA

SCALE 1:5000 MAPS

JOHN P. NOUWENS, O.L.S. - 1989



ASHENHURST NOUWENS LIMITED

Professional Engineers & Ontario Land Surveyors

86 BANCROFT STREET

HAMILTON, ONTARIO, CANADA, L8E 3E5

(416) 529-6318

(416) 529-6314

FAX (416) 529-6695

1989

CA 3 ON HW Q60
P 66
URBAN/MUNICIPAL
1990

THE REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH

nt Department
th floor

Mailing Address:
P.O. Box 910, Hamilton, Ontario
L8N 3V9

January 4, 1989

Refer to File No. 25T-89036
25T-89037
Attention of 25T-89038
Your File No. 25T-89039
25CDM-89025
25CDM-89027
25CDM-89028
25CDM-89029

Regional Assessment Department
Fire Department
Regional Police Department
The Librarian, Hamilton Public Library ✓
Commissioner of Public Works
Director of Culture and Recreation
Cable T. V.
Development Section, Local Planning Branch

URBAN MUNICIPAL

JAN 1

GOVERNMENT DOCUMENTS

Dear Sir/Madam:

Re:

File: 25T-89036, Effort Gardens Extension
Owner: Hampshire Properties Inc.
Surveyor: J. D. Peters, O.L.S.
Location: Part Lot 14, Concession 7, City of Hamilton

File: 25T-89037, Sharif Estates
Owner: Yaser Sharif
Surveyor: Guido Consoli Surveying Ltd.
Location: Part of Lot 20, Concession 8, City of Hamilton

File: 25T-89038, Crerar Court
Owner: Westmount Homes
Surveyor: A. J. Clarke & Assoc.
Location: Part Lot 11, Concession 7, City of Hamilton

File: 25T-89039, Peace Manor
Owner: Henry H. Young
Surveyor: J. David Peters, O.L.S.
Location: Part Lot 32, Concession 5, City of Hamilton

25CDM-89025: Lillian Heights - Ph. 1 Condominium

Owner: Kingsmount Place Properties I Inc.

Surveyor: L. G. Woods, O.L.S.

Location: Block 39, R. P. 62M-614, City of Hamilton

25CDM-89027: N/A

Owner: West Highland Management Limited

Surveyor: John Boyd, O.L.S.

Location: Lot 2, Margaret MacKay Survey, R. P. 427, City of Hamilton

25CDM-89028: N/A

Owner: T. Valeri Construction Ltd.

Surveyor: J. D. Barnes Ltd.

Location: Block 41, Lillian Heights (Phase I), R. P. 62M-614, Hamilton

25CDM-89029: N/A

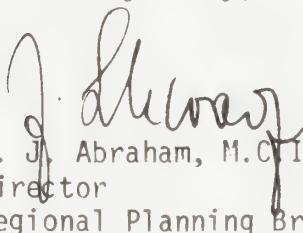
Owner: T. Valeri Construction Limited

Surveyor: J. D. Barnes Limited

Location: Block 42, Lillian Heights (Phase I), R. P. 62M-614, Hamilton

The Planning and Development Department has under consideration the above proposed plans of subdivision, the location and layout of which are indicated on the attached plans. These proposed plans are forwarded to you for your information. However, should you wish to make any representation concerning these plans, please advise the Planning and Development Department.

Yours very truly,

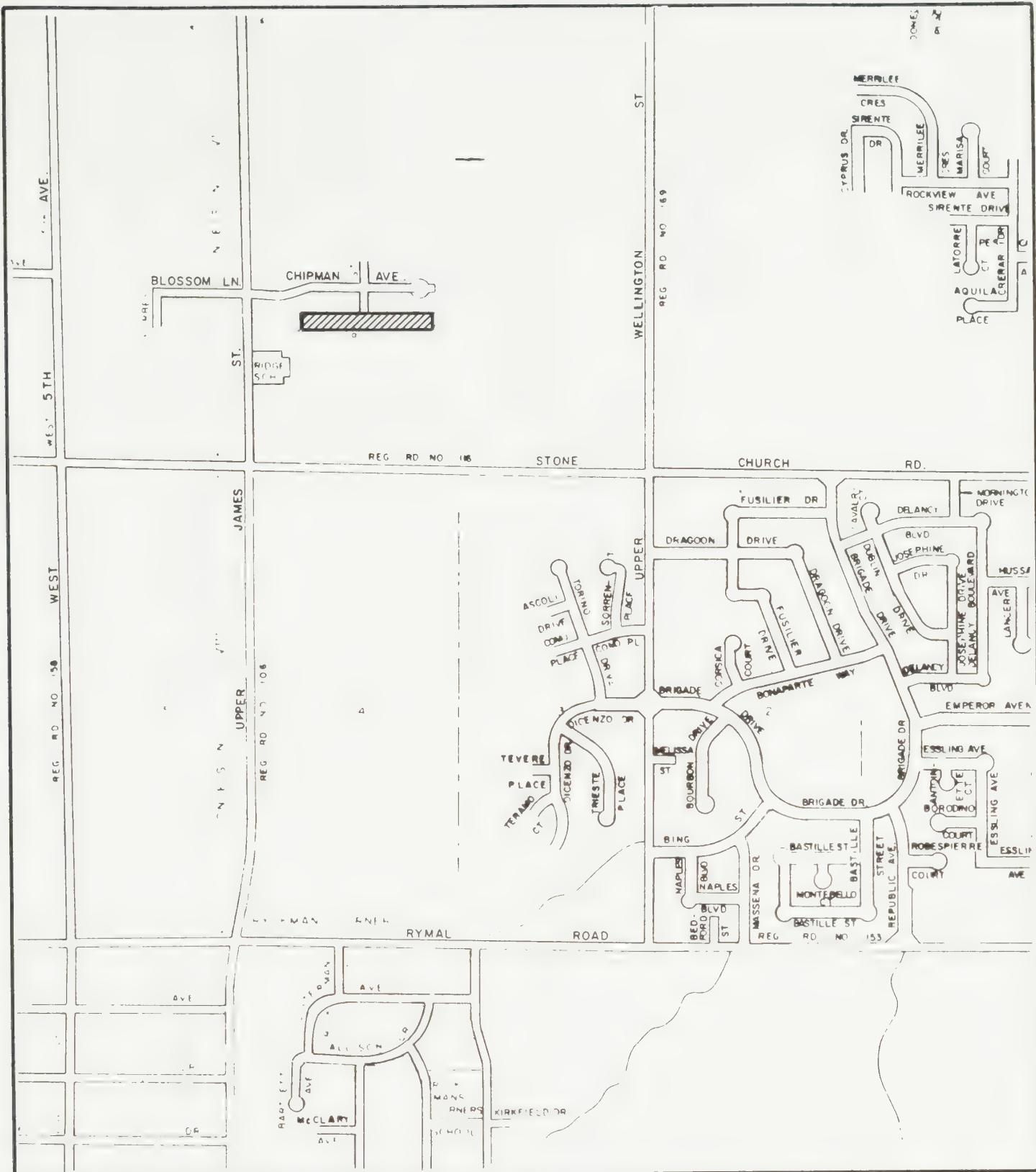


for V. J. Abraham, M.C.I.P.
Director
Regional Planning Branch

JLS/jd

Encl.

Note: Please address all correspondence to J. L. Schwarz, Manager,
Subdivision and Condominium Administration Section, Regional Planning
Branch at the above address.



Location Plan For

**EFFORT GARDENS
EXTENSION**

Regional Municipality of Hamilton-Wentworth
Planning and Development Department

Legend

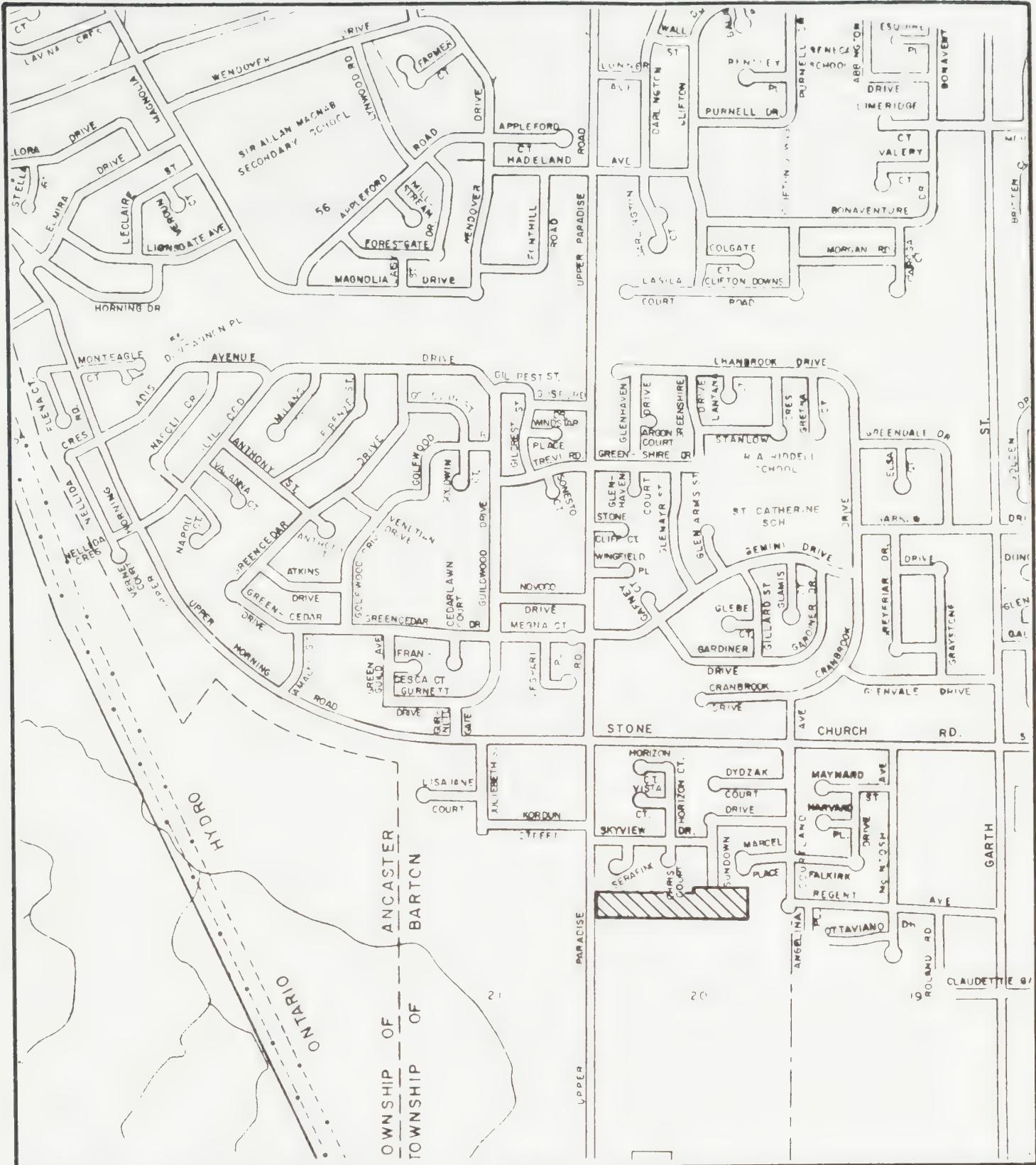


PROPOSED SUBDIVISION



North	Scale 1" = 1000'	Reference File No. 25T-89036
	Date NOV. 13, 1989	Drawing No.





Location Plan For

SHARIF ESTATES

Regional Municipality of Hamilton-Wentworth
Planning and Development Department

Legend



PROPOSED SUBDIVISION

North

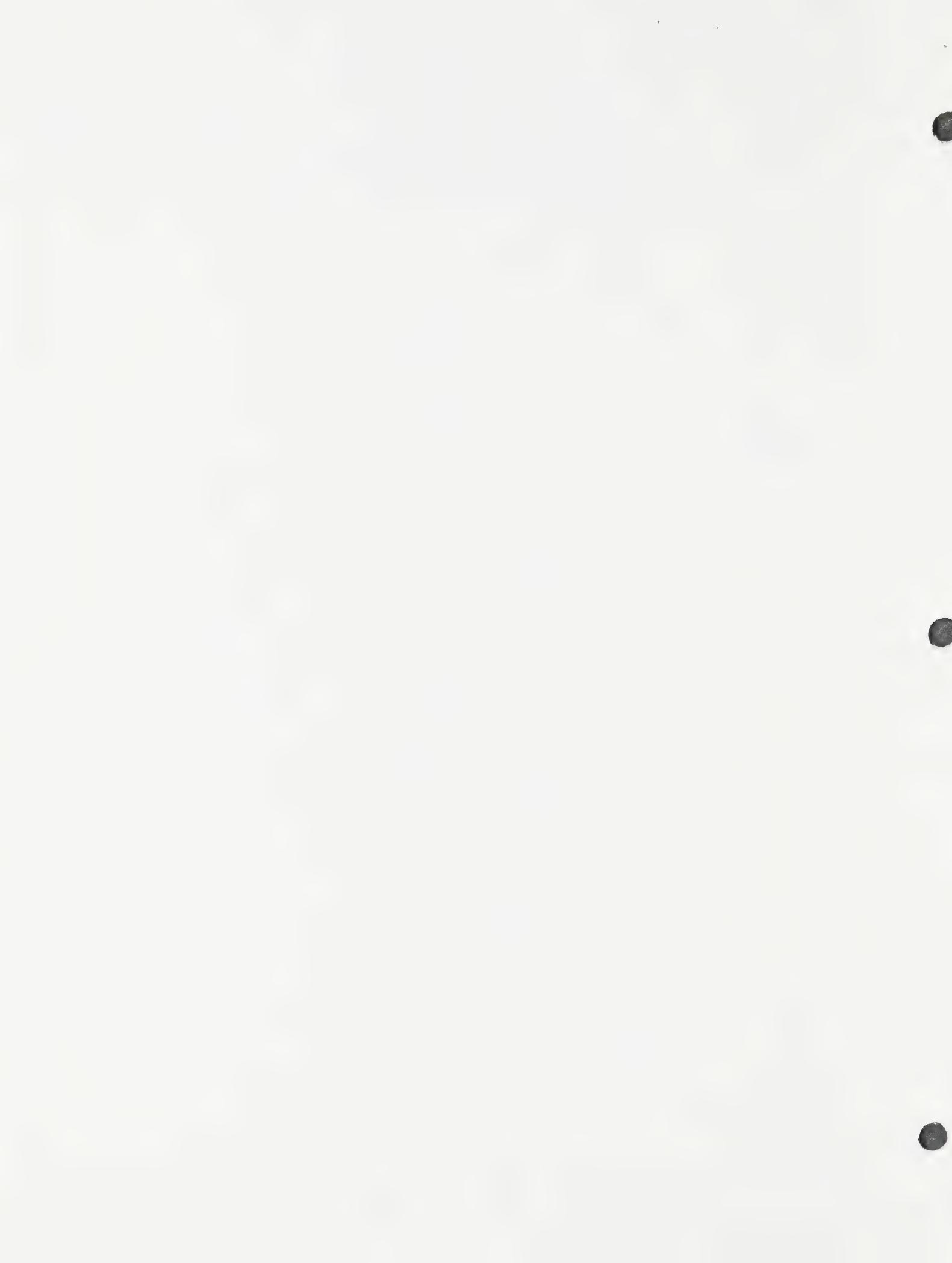


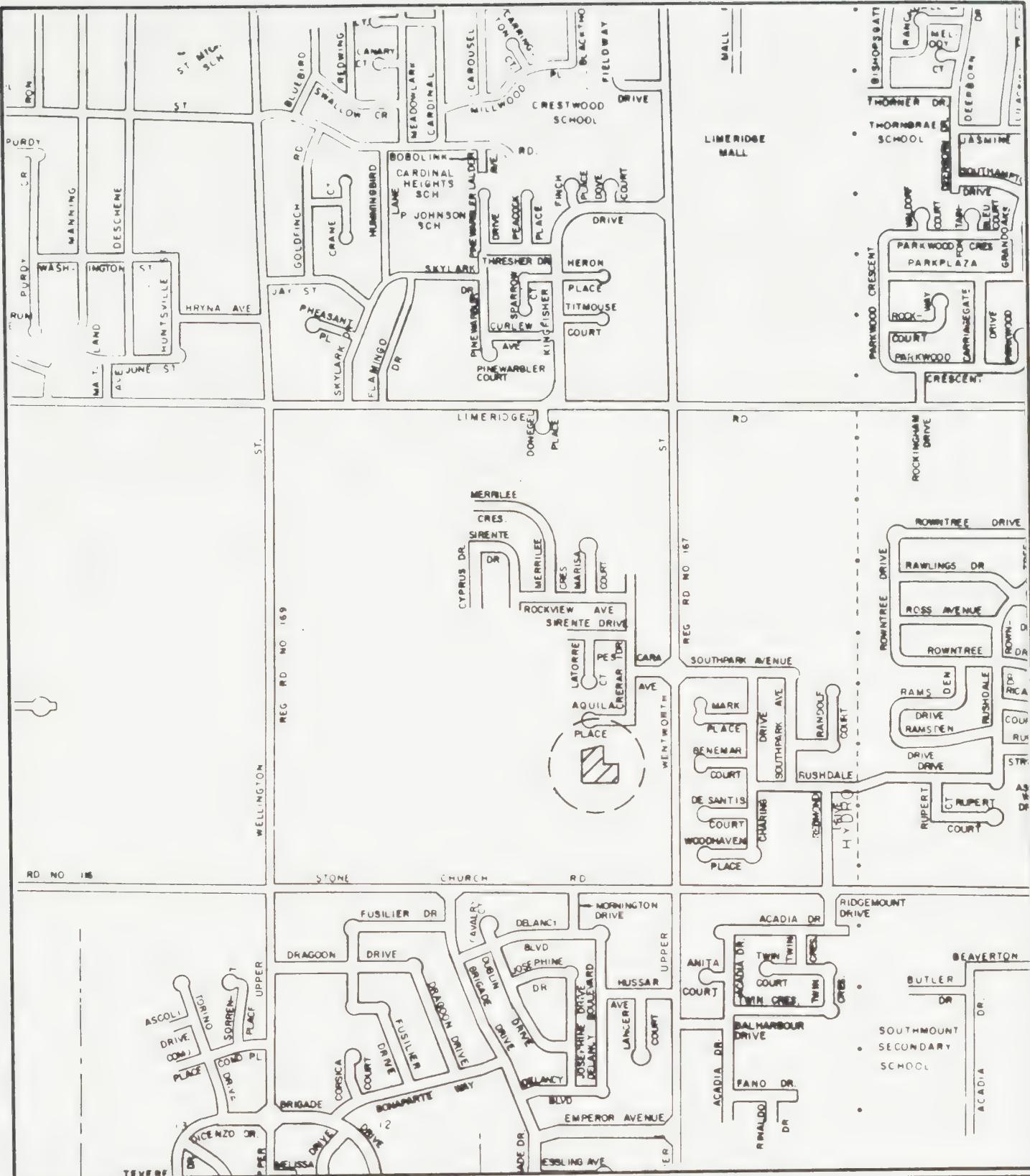
Scale
N. T. S.

Date
NOV. 13, 1989

Reference File No.
25T-89037

Drawing No.





Location Plan For

CRERAR COURT

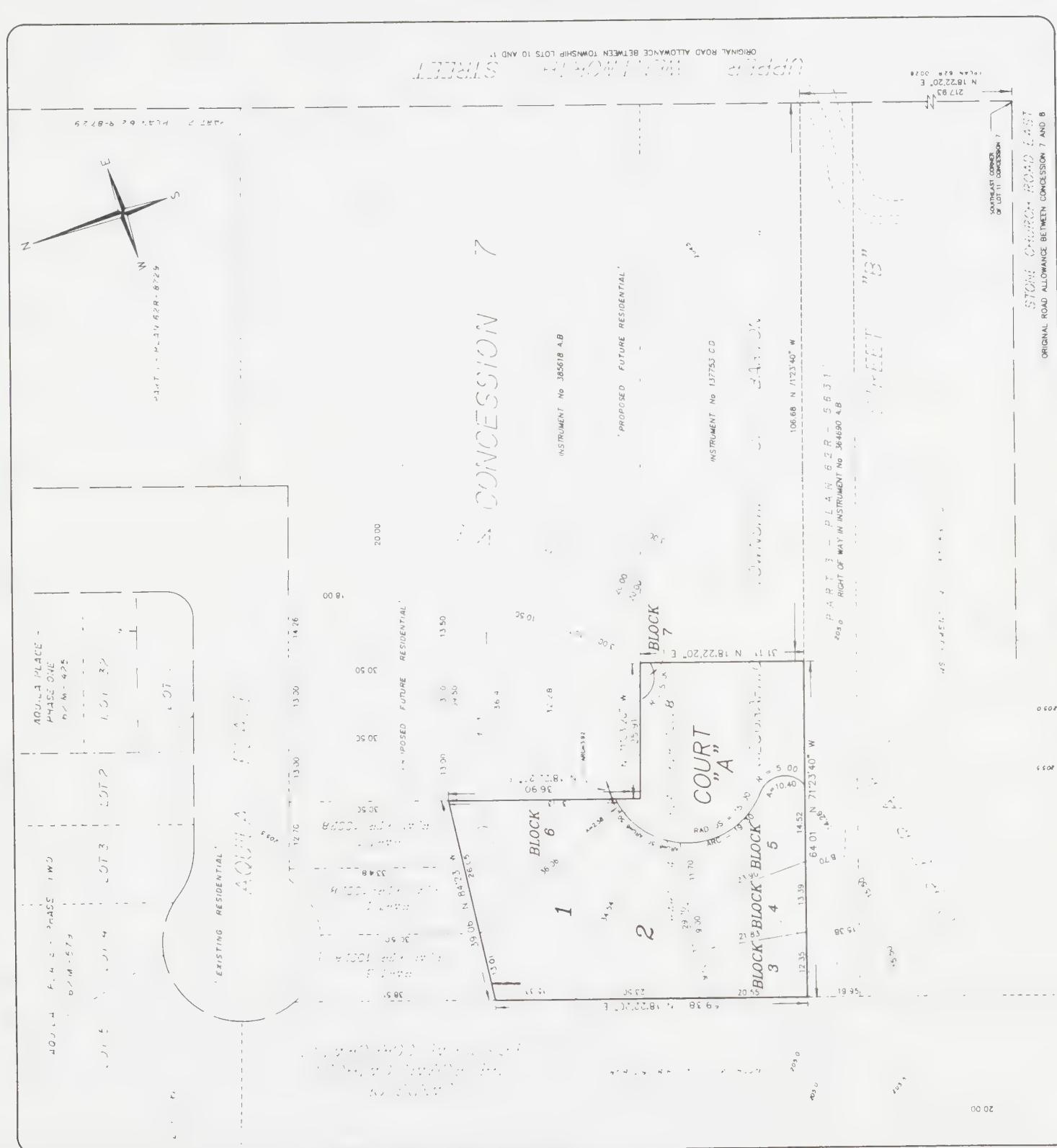
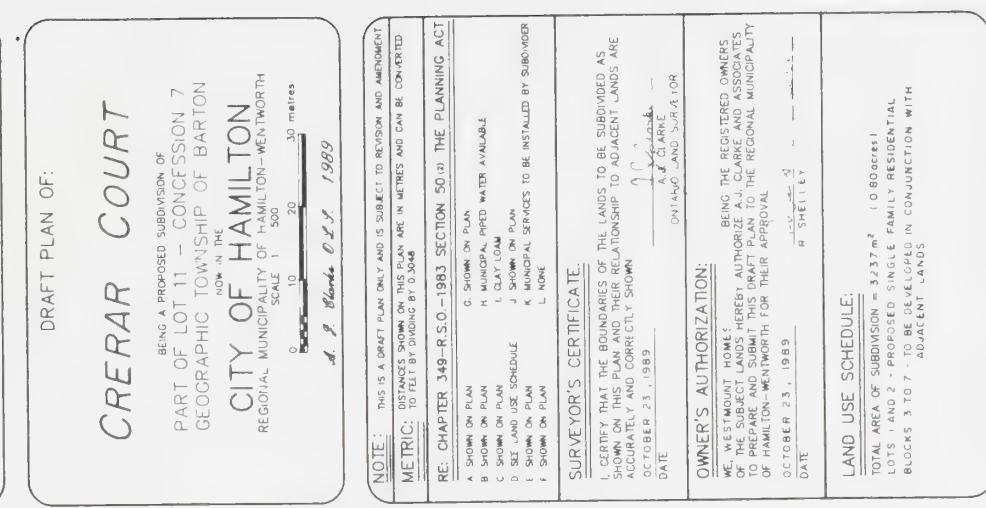
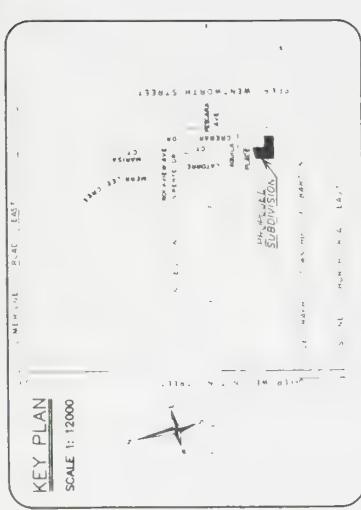
Regional Municipality of Hamilton-Wentworth
Planning and Development Department

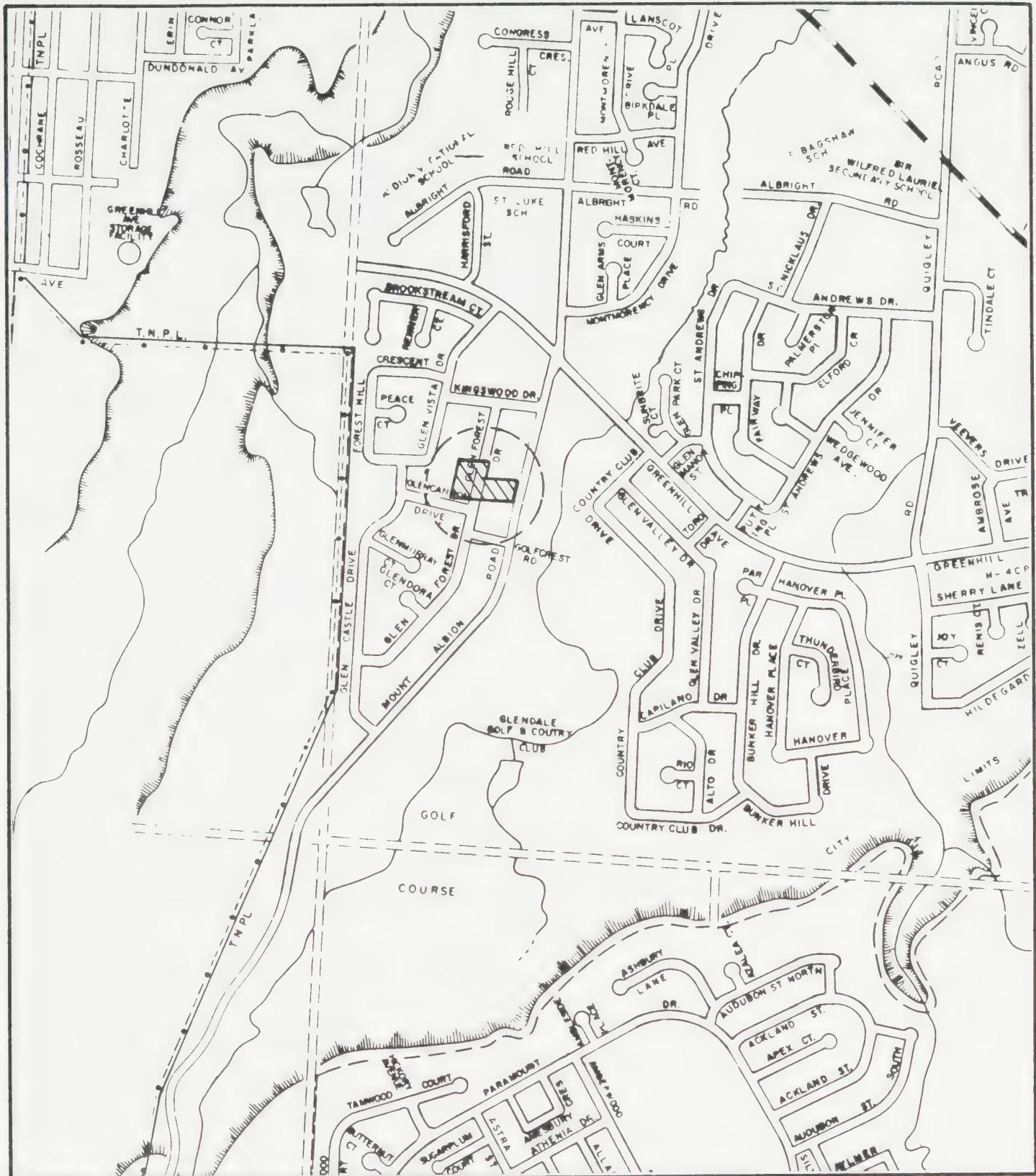
Legend



PROPOSED SUBDIVISION

North	Scale 1" = 1000'	Reference File No. 25T-89038
	Date NOV. 24, 1989	Drawing No.





Location Plan For

PEACE MANOR

Legend



PROPOSED SUBDIVISION

North	Scale 1" = 1000'	Reference File No. 25T - 89039
	Date NOV. 24, 1989	Drawing No.

DRAFT PLAN OF SUBDIVISION OF
Pearl Manor
 BEING
 PART OF LOT 32 - CONCESSION 5
 IN THE GEOGRAPHIC
 TOWNSHIP OF SALTLEET
 IN THE
CITY OF HAMILTON
 REGIONAL MUNICIPALITY OF HAMILTON - WENTWORTH

SCALE 1:600
 0 10 20 30 40 50 METRES

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY
 0.3048

OWNER'S CERTIFICATE

I HEREBY AUTHORIZE MACKAY, MACKAY
 AND PARTNERS - OUTDOOR LAND SURVEYORS
 TO SUBMIT THIS PLAN FOR APPROVAL.

October 30, 1983 *John J. [Signature]*
 DRAFTSMAN

SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT THE BOUNDARIES
 OF THE LANDS TO BE SUBDIVIDED AND OTHER
 RELATIONSHIP TO ADJACENT LANDS ARE
 ACCURATELY AND CORRECTLY SHOWN

October 30, 1983 *David J. [Signature]*
 DRAFTSMAN
 SURVEYOR

KEY PLAN SCALE 1:5000

SCHEDULE RE:
 THE PLANNING ACT 1983 (502)

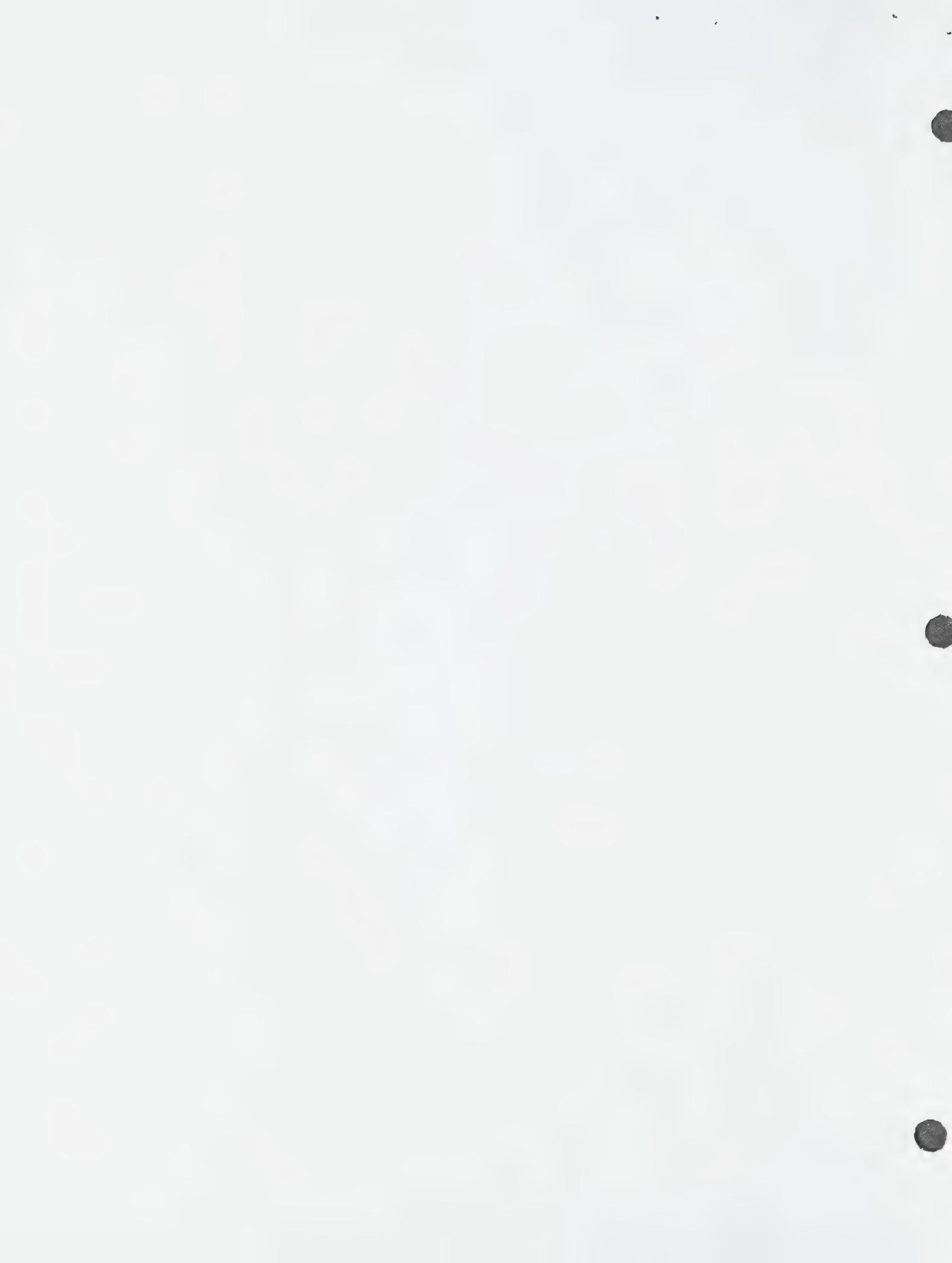
- A) Shown
- B) Shown
- C) Residential
- D) Residential & Recreational
- E) Shown
- F) Shown
- G) Shown
- H) Shown
- I) Municipal Water
- J) Sandy Loam
- K) Shown
- L) None
- M) Full Services

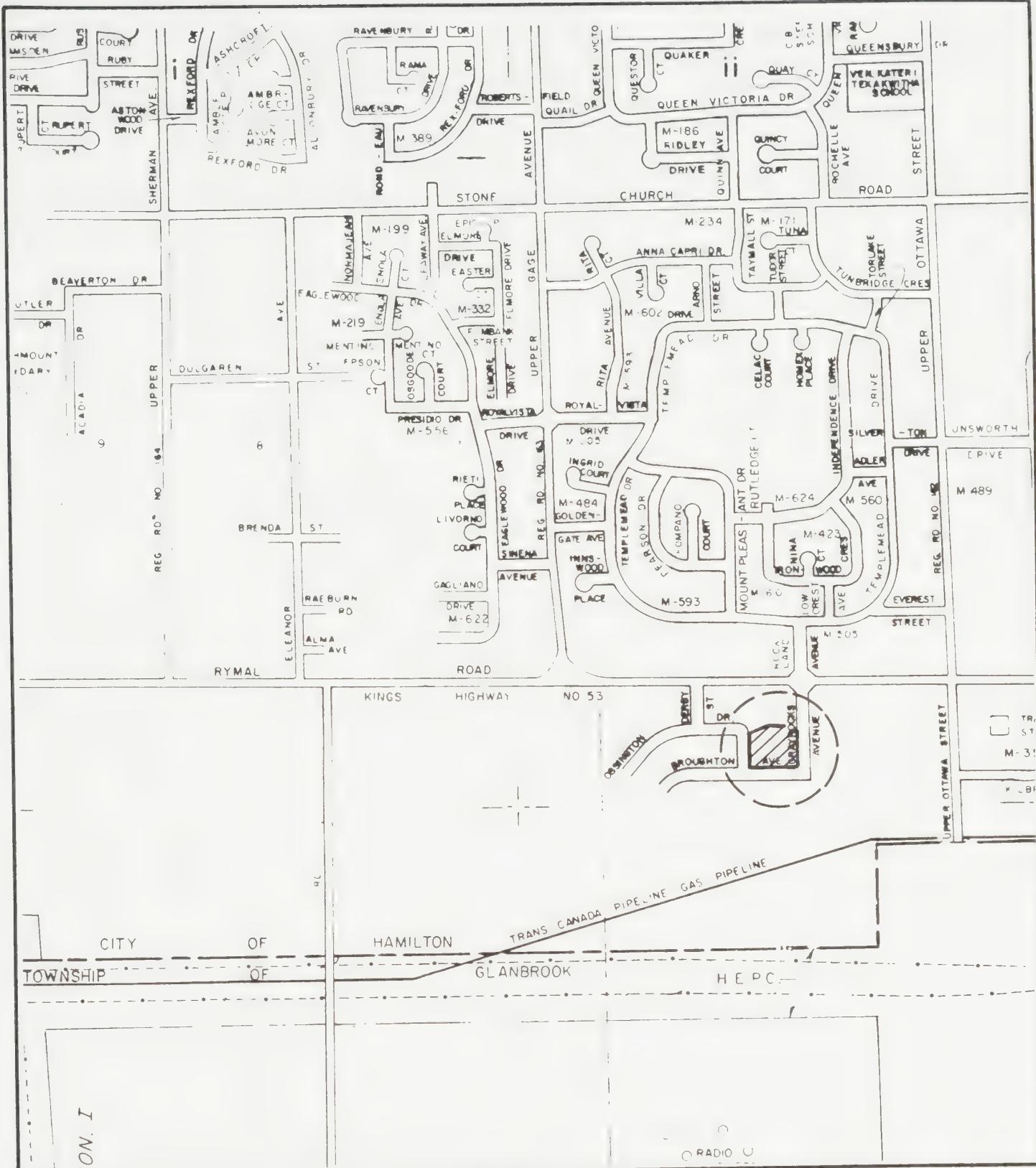
BLOCK 16 TO BE DEVELOPED WITH
 ADJACENT LANDS

MACKAY, MACKAY & PETERS LIMITED
 ONTARIO LAND SURVEYORS
 (ESTABLISHED 1906)

SUITE 100, UNION GAS BUILDING
 20 HIGHSON STREET SOUTH
 HAMILTON, ONTARIO L8N 2A1
 TELEPHONE (416) 528-7411
 TELECOPIER (416) 528-0147

S-7242-A





Location Plan For

**LILLIAN HEIGHTS
(PHASE 1)**

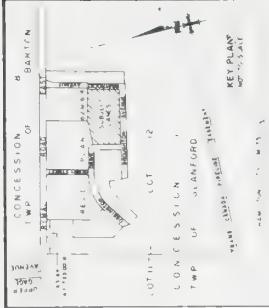
Regional Municipality of Hamilton-Wentworth
Planning and Development Department

Legend



PROPOSED CONDOMINIUM

North	Scale 1" = 1000'	Reference File No. 25CDM-89025
	Date NOV. 13, 1989	Drawing No.

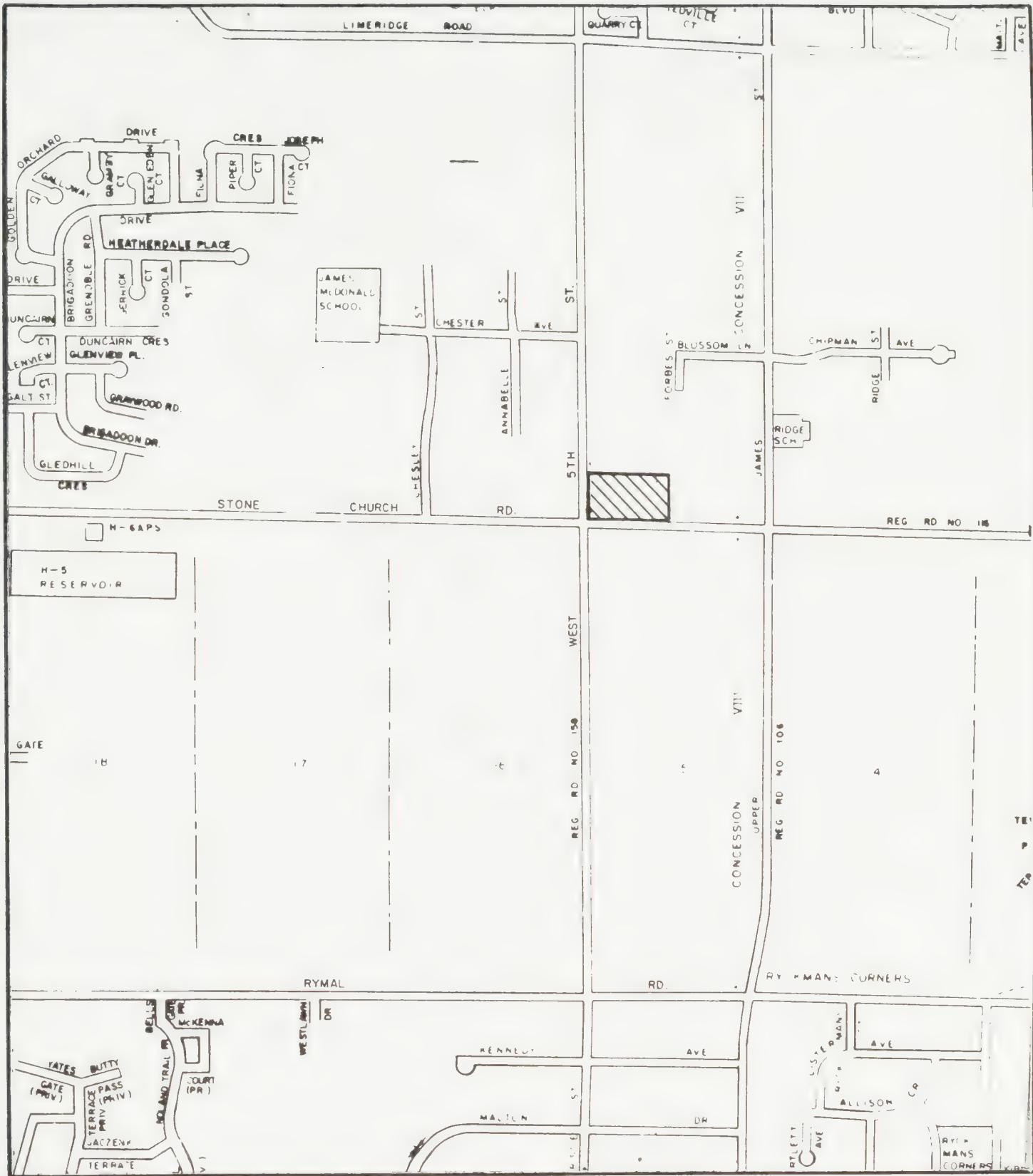


DRAFT PLAN OF CONDOMINIUM OF
BLOCK 39
LILLIAN HEIGHTS (PHASE
REGISTERED PLAN 62M-6
CITY OF HAMILTON
REGIONAL MUNICIPALITY
HAMILTON-WENTWORTH
SCALE 1:200

OWNER'S CERTIFICATE
ACCOMPLISHMENT OF THE REQUIREMENTS OF THE PLAN WHICH
THIS PLAN FOR APPROVAL

THE BOUNDARIES OF THE LANDS ARE APPALED BY
THE PLAN AND THEIR NAMES REFERRED TO THE ACCURATE
LANDS ARE LOCATED AND CORRECTLY SHOWN

B-2680 45 20 101.



Location Plan For

DRAFT PLAN OF CONDOMINIUM OF

LOT 2
MARGARET MACKAY SURVEY
REGISTERED PLAN No. 427
IN THE
CITY OF HAMILTON

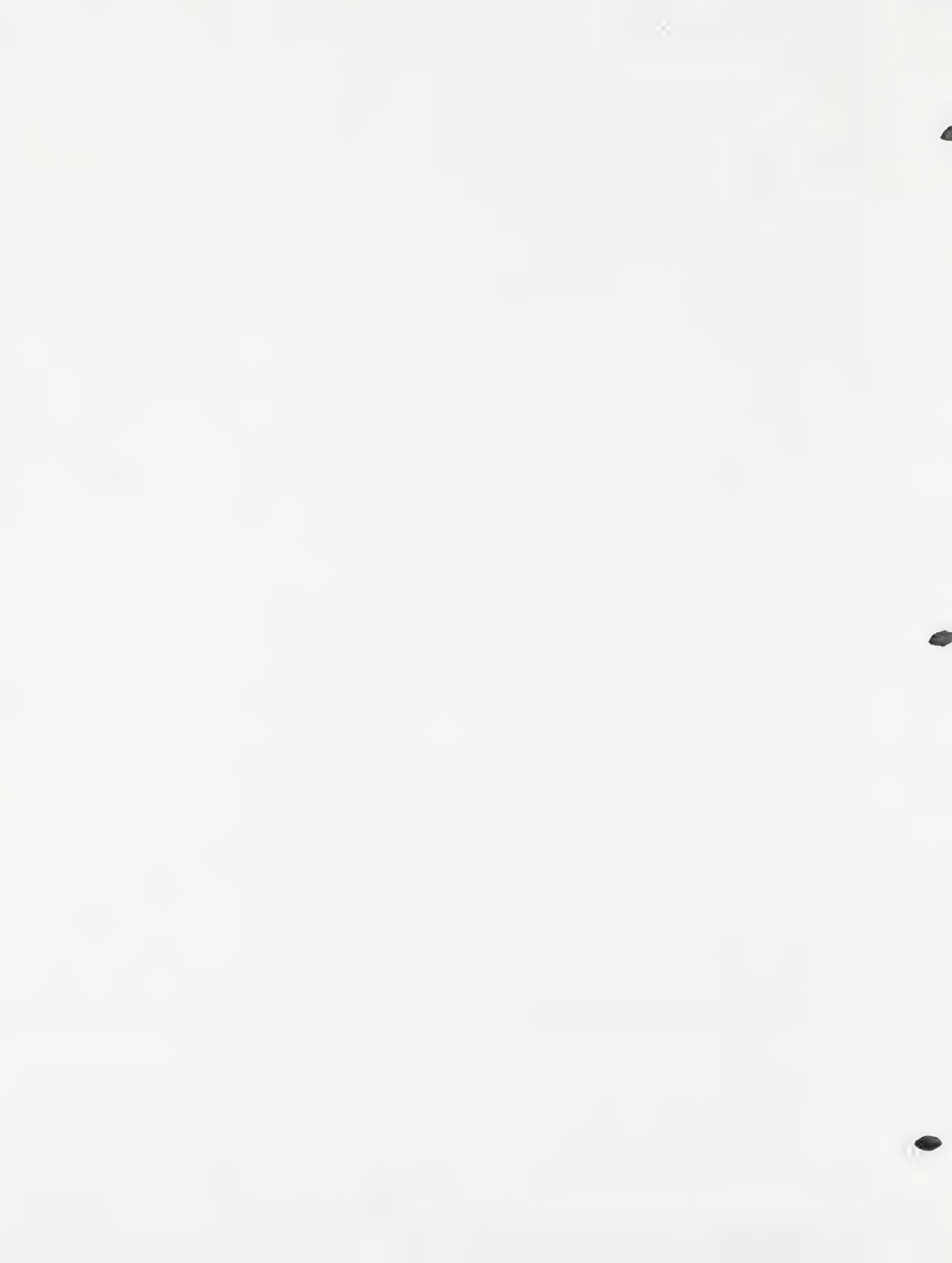
Regional Municipality of Hamilton-Wentworth
 Planning and Development Department

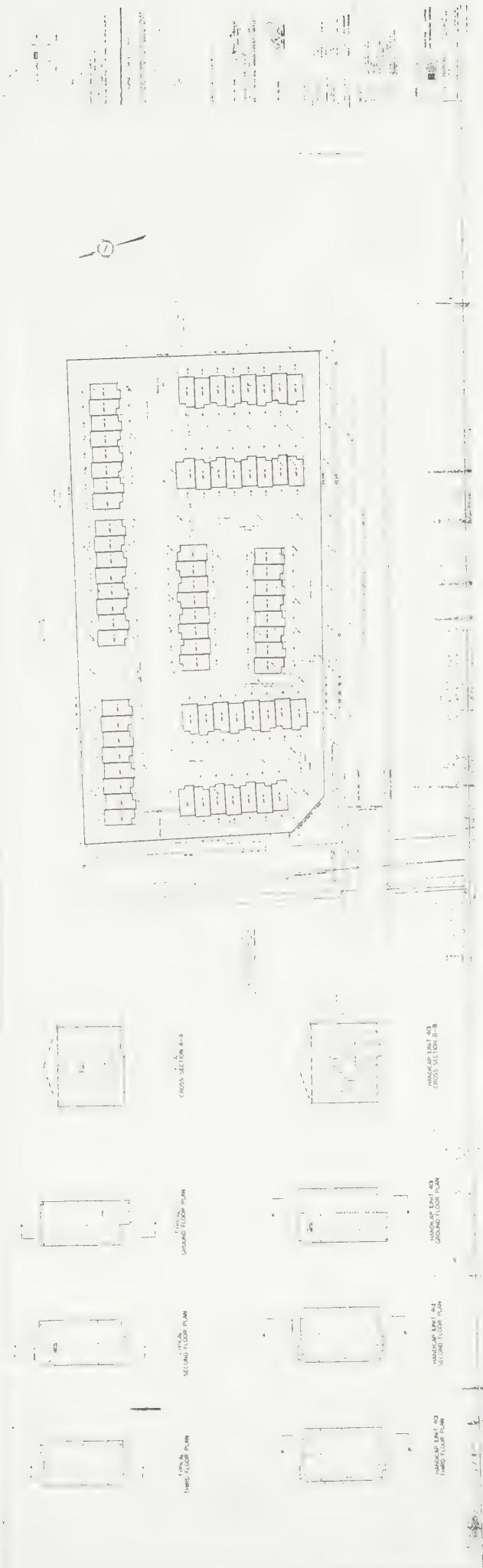
Legend

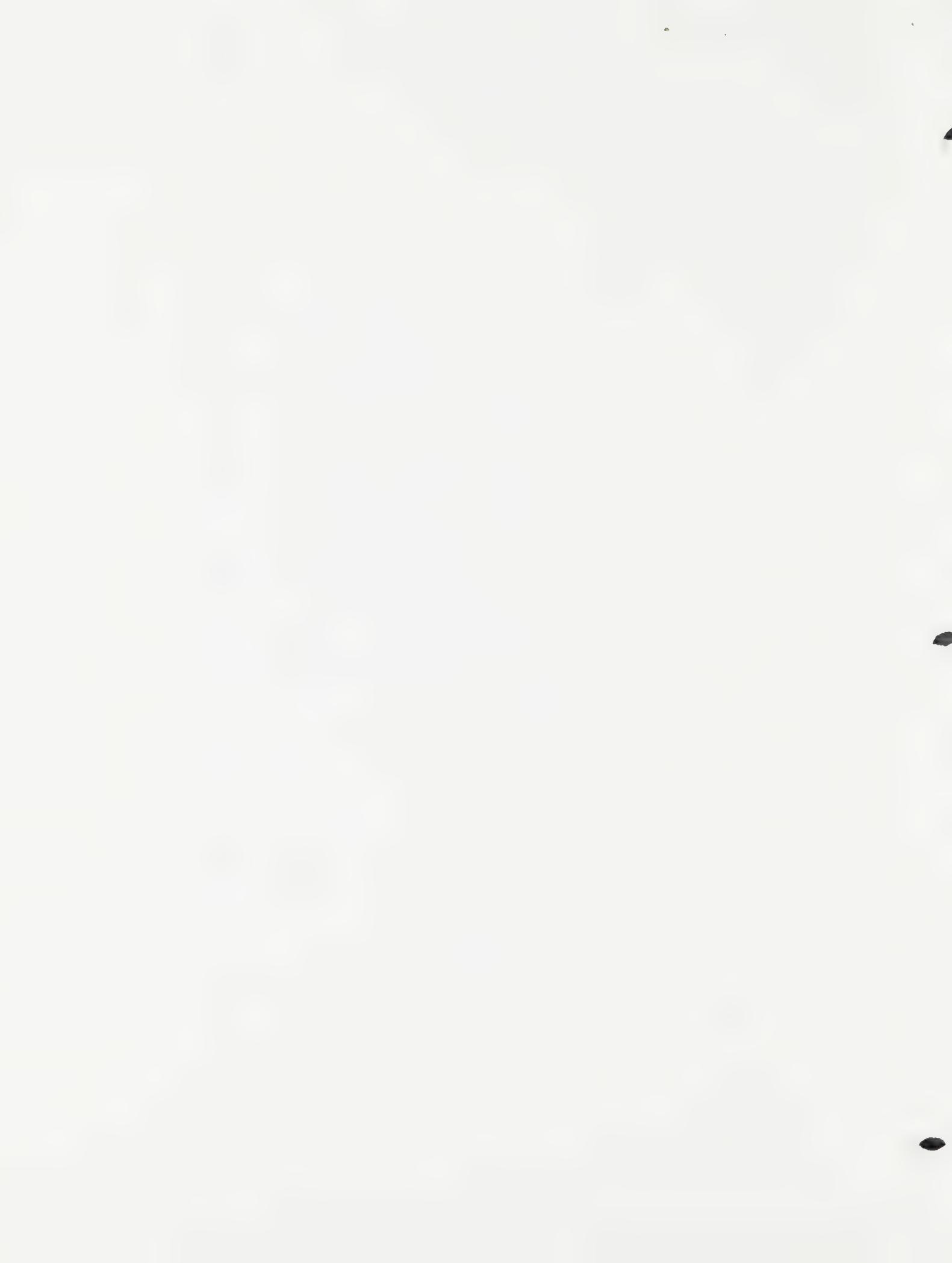


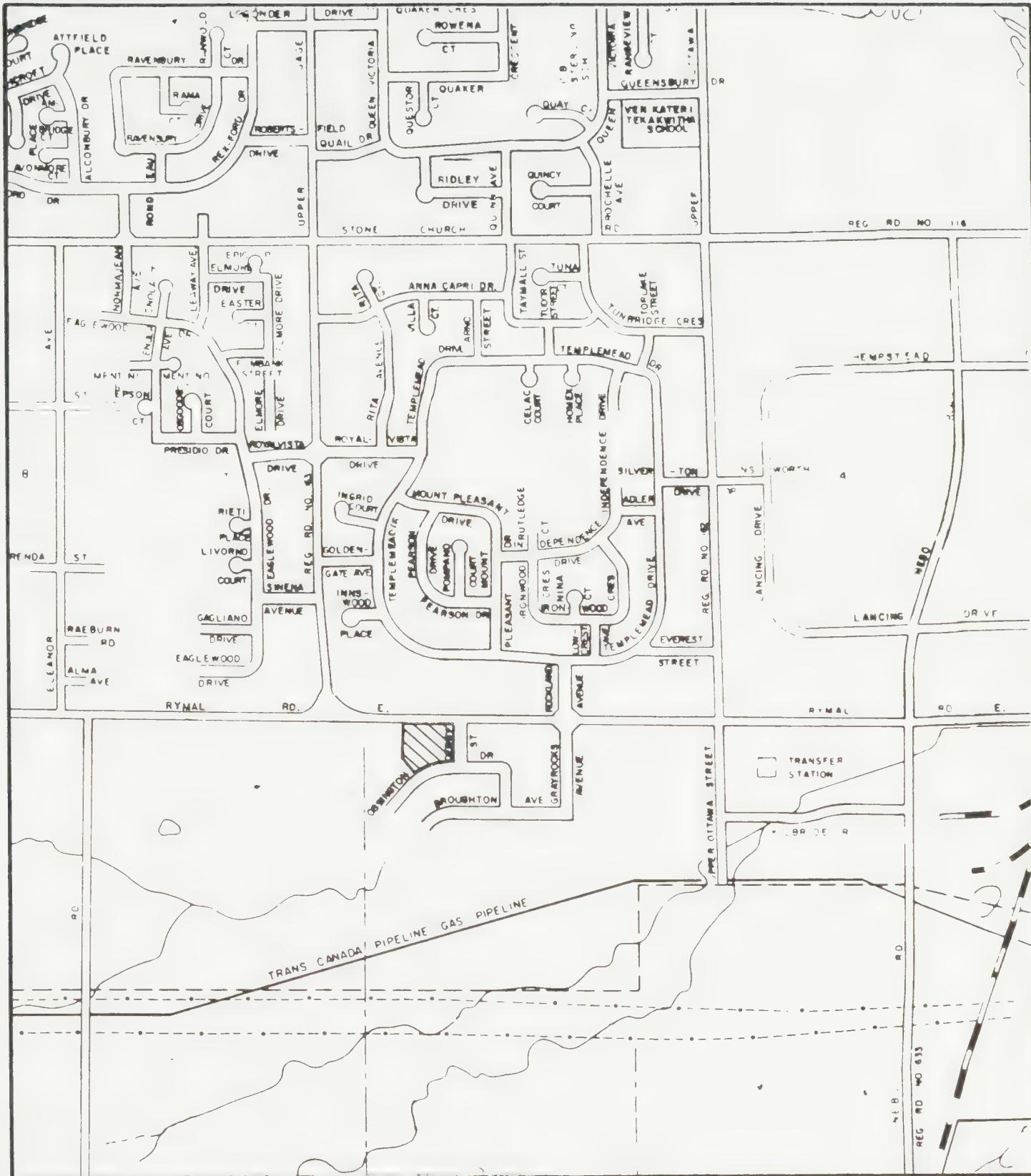
PROPOSED CONDOMINIUM

North	Scale 1" = 1000'	Reference File No. 25CDM-89027
	Date DEC. 6, 1989	Drawing No.









Location Plan For

DRAFT PLAN OF CONDOMINIUM OF
BLOCK 41
LILLIAN HEIGHTS (PHASE I)
REGISTERED PLAN 62M-614
CITY OF HAMILTON

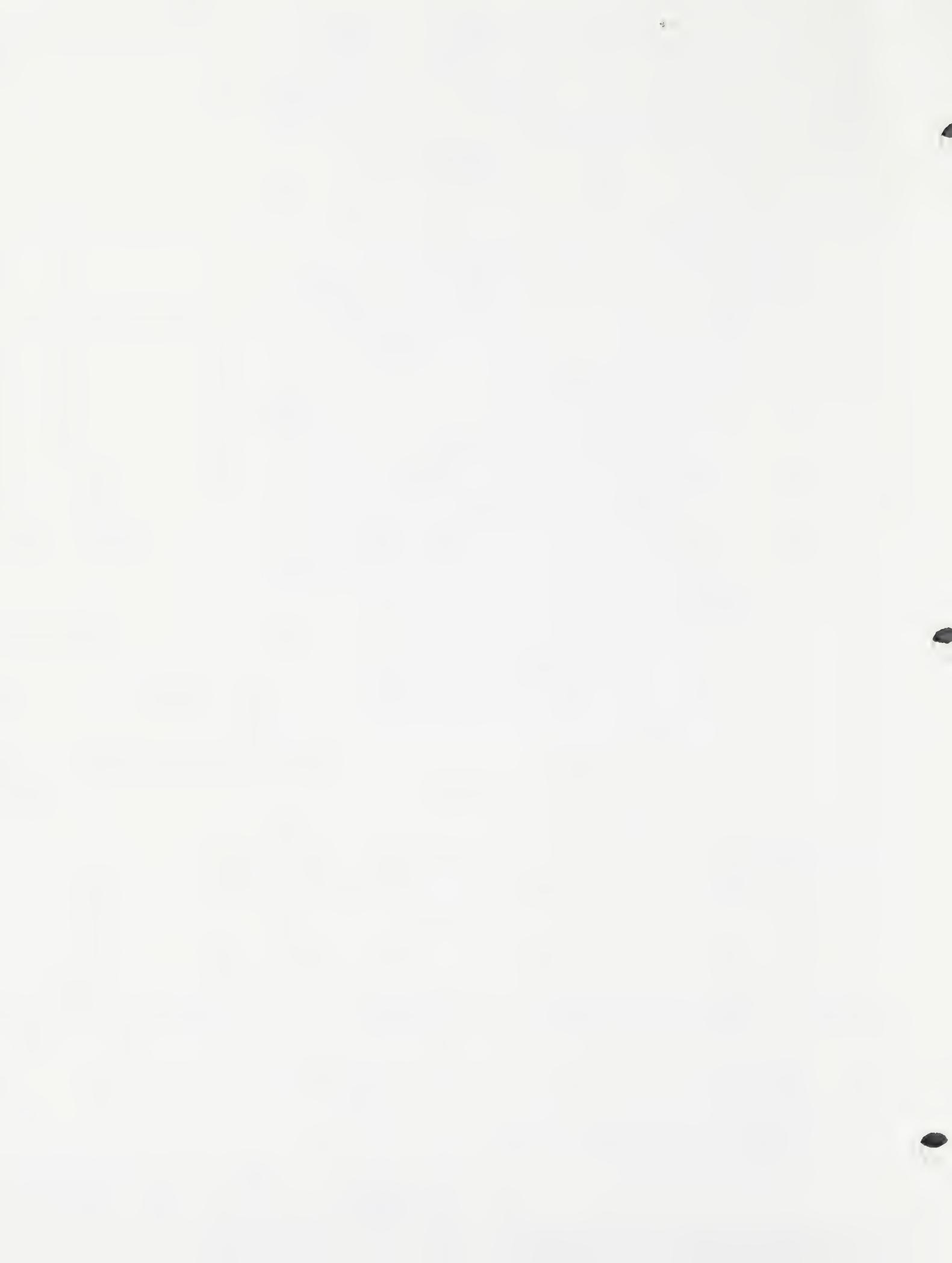
Regional Municipality of Hamilton-Wentworth
Planning and Development Department

Legend



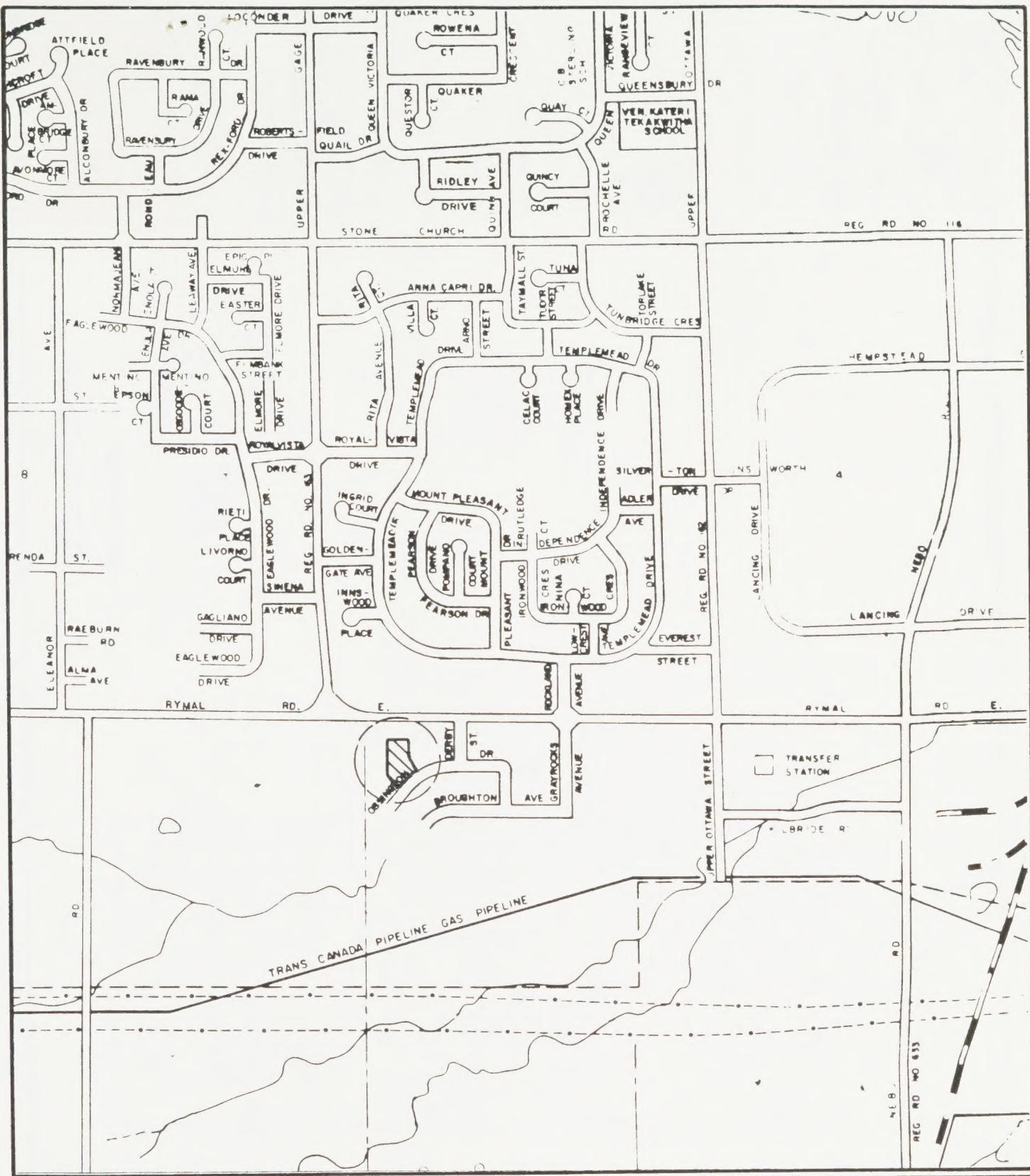
PROPOSED CONDOMINIUM

North	Scale 1" = 1000'	Reference File No. 25CDM-89028
	Date DEC. 6, 1989	Drawing No.









Location Plan For

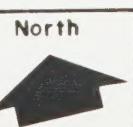
DRAFT PLAN OF CONDOMINIUM OF
BLOCK 42
LILLIAN HEIGHTS (PHASE I)
REGISTERED PLAN 62M-614
CITY OF HAMILTON

Regional Municipality of Hamilton-Wentworth
Planning and Development Department

Legend



PROPOSED CONDOMINIUM



Scale 1" = 1000'	Reference File No. 25CDM-89029
Date DEC. 6, 1989	Drawing No.

